

LakeSimcoe

Regional Airport

Commercial Development Opportunities



www.lakesimcoeairport.com



The City of
BARRIE


Township of
Oro-Medonte
Proud Heritage, Exciting Future


COUNTY OF
SIMCOE



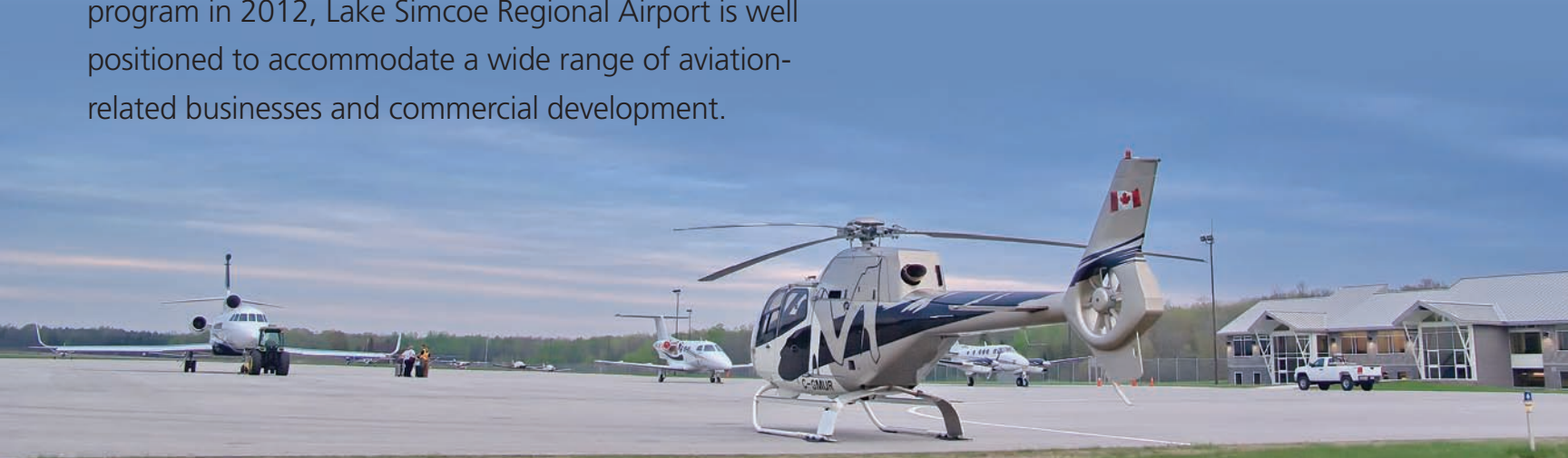
Airport Profile

The Lake Simcoe Regional Airport is one of the newest and best positioned regional airport facilities in Canada. Located in one the fastest growing regions of Ontario directly serving a population base over 480,000, the Lake Simcoe Regional Airport serves the County of Simcoe including the municipalities of Barrie, Orillia and the Township of Oro-Medonte. The Airport offers these users a convenient location in close proximity to both the Greater Toronto Area as well as pristine Central Ontario Cottage Country.

With its modern airport facilities and 6,001 ft. runway, the Lake Simcoe Regional Airport is able to serve a wide variety of aircraft ranging from small recreational and flight training aircraft to larger corporate, regional and commercial aircraft.

Fully serviced by the Canada Border Service Agency, the Lake Simcoe Regional Airport maintains a Commercial Port-Of-Entry status, which allows the airport to accommodate both international passengers and freight. With all of these attributes, as well as easy access to major highway infrastructure the Lake Simcoe Regional Airport is a welcomed addition to the region and our partnering municipalities.

With the recently completed infrastructure expansion program in 2012, Lake Simcoe Regional Airport is well positioned to accommodate a wide range of aviation-related businesses and commercial development.



Airport Facility Details

Lake Simcoe Regional Airport (CYLS) is a modern, well equipped facility designed to accommodate a wide range of aircraft including large corporate jets, turboprops, and narrow-body airliners including the B737-800.

Airside Facilities

Runway 6,001 ft. x 100 ft. (PLR 9)

ICAO: CYLS

IATA: YLK

Approaches

LNAV – 368 ft. and 1 1/4 miles (Runway 10)

LNAV – 425 ft. and 1 1/4 miles (Runway 28)

LPV – 305 ft. and 1 mile (Runway 28)

Taxiways – Code C (50 ft. width)

AWOS – 122.55 or 705-487-6231

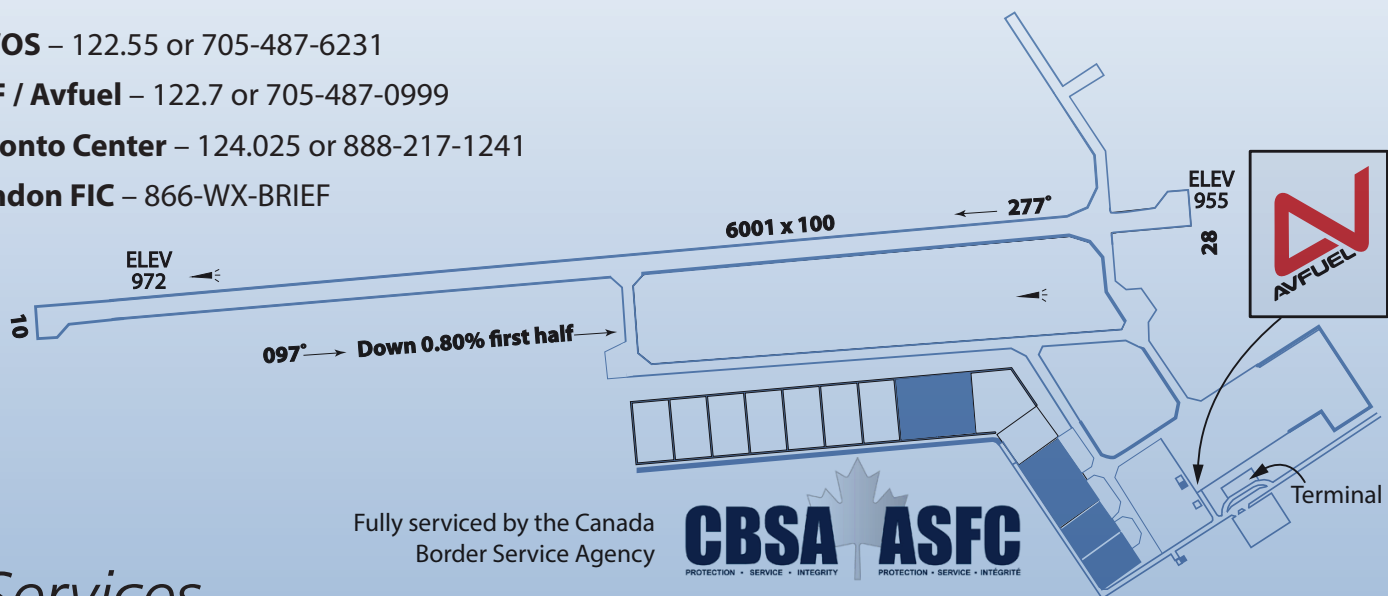
ATF / Avfuel – 122.7 or 705-487-0999

Toronto Center – 124.025 or 888-217-1241

London FIC – 866-WX-BRIEF

Fuel Cards/ Payment

- | | |
|-----------------------|----------------|
| » Visa | » Colt |
| » Avfuel | » UVair |
| » Mastercard | » AEG / Mariah |
| » Avcard / World Fuel | » Everest |
| » Multi-Service | |



Services

- | | | |
|---|--|--------------------------------|
| » Mobile Jet A1 Service | » Professional Catering | » Lav Service |
| » Port of Entry Status (Canada Customs) | » Baggage Handling | » Complimentary Coffee and Ice |
| » Avgas 100LL | » Dishwashing Service | » De-icing |
| » Ramp-side Vehicle Access | » GPU | » Heated Hangar up to G650 |
| » Quick-turn Service | » On-site Rental Cars (Must Pre-arrange) | » Forklift |
| | | » Secure Ramp |

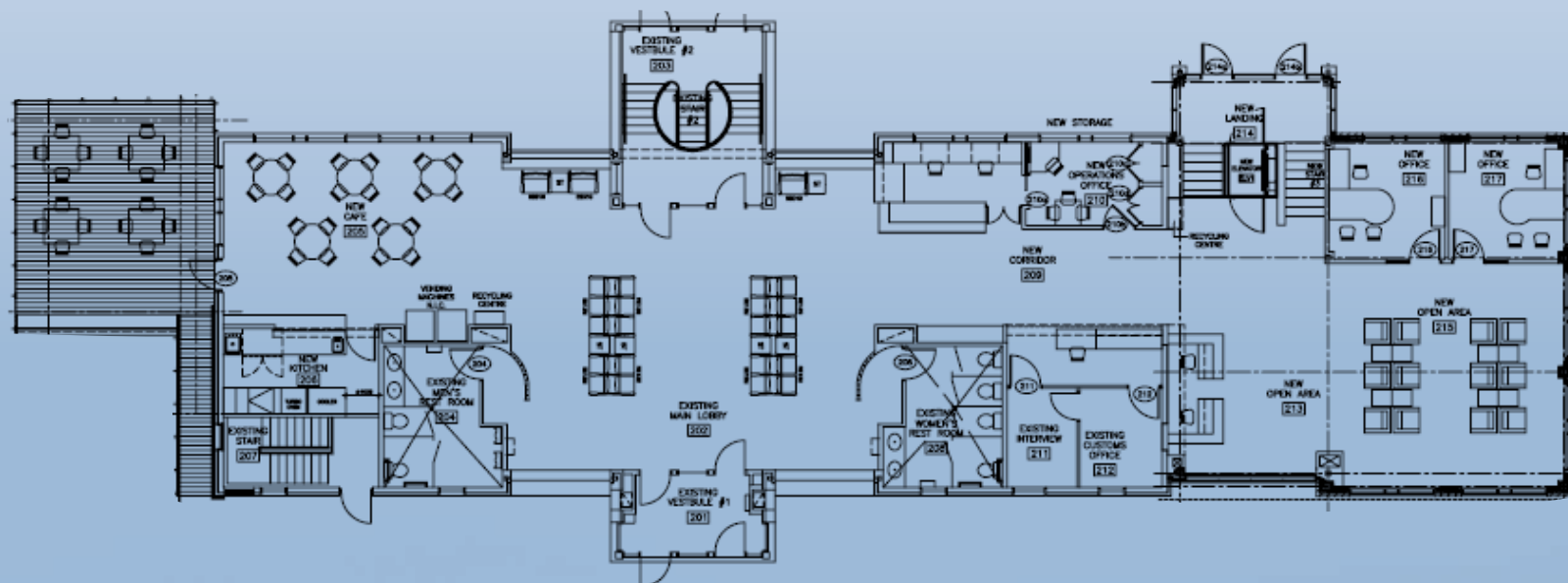




Terminal Facilities

Recently expanded terminal facilities which cater to corporate charter and business aviation needs.

- » Full Menu Café
- » Pilot Lounge
- » Passenger Waiting Area
- » Workstation with Printer
- » Executive Passenger Lounge
- » Shower
- » WIFI and Wired Internet
- » Boardroom
- » Office Space
- » Observation Patio



Community Profile

The catchment area served by the Lake Simcoe Regional Airport is vibrant and rapidly expanding community with a strong and diverse employment base in key sectors such as manufacturing, public service, tourism and health and wellness. The County of Simcoe, with a population of approximately 450,000 has the fourth highest growth rate in the Province of

Ontario and the City of Barrie, with a population of 188,000, has the fastest growth rate of any Census Metropolitan Area in the province. Ideally situated in Central Ontario, Simcoe County is within a one-hour drive of more than 9 million people. Home to a diverse and progressive business community, serving a wealth of sectors across the globe.

- Strategic location in Central Ontario ideal to access local and international markets
- More than 130 million people live within a one-day drive
- Connected to major highways facilitating transportation to Canadian, US, and international markets



Major Employers

CFB Borden	5,000 service personnel/ employees
Honda Canada	4,200 employees
Casino Rama	2,712 employees
Royal Victoria Hospital	2,500 employees
Georgian College	2,500 employees
Ontario Provincial Police	1,550 employees
Simcoe County District School Board	6,600 employees
Simcoe Muskoka Catholic District School Board	3,400 employees

Educational Institutions

Georgian College
Lakehead University

Medical Centres

Royal Victoria Hospital
Soldier's Memorial Hospital

Geographical Area	Median Household Income	Average Household Income
Barrie	\$70,745.00	\$83,533.00
Simcoe County	\$67,468.00	\$80,842.00
Ontario	\$66,358.00	\$85,772.00
Canada	\$61,072.00	\$79,102.00

Source: Statistics Canada National Household Survey 2011 Catalogue no. 99-014-X2011047

Total labour force – 238,465 42,682 businesses in the County (29,640 self-employed; 13,042 with employees)



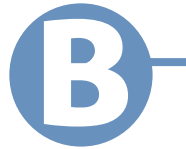
Commercial Development Opportunities

Four areas are available for commercial development at Lake Simcoe Regional Airport.



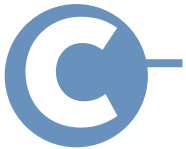
Southwest Commercial

Fully serviced lots ideal for general aviation businesses.



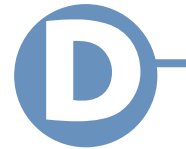
Southeast Commercial

Un-serviced lots ideal for light corporate and private aircraft hangar development.



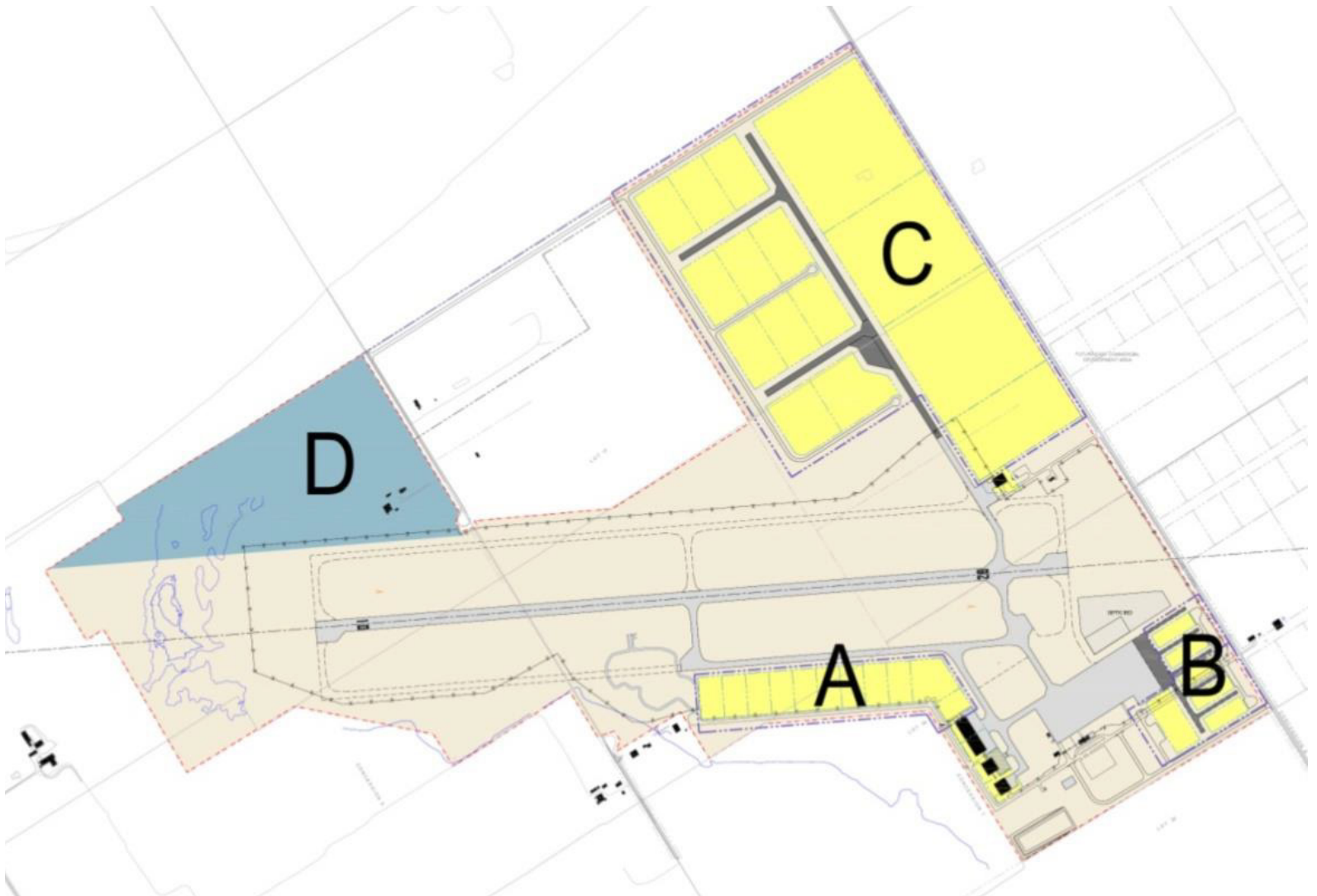
Northeast Commercial

Un-serviced large lots ideal for large scale commercial developments.



Northwest Non-Aviation Commercial

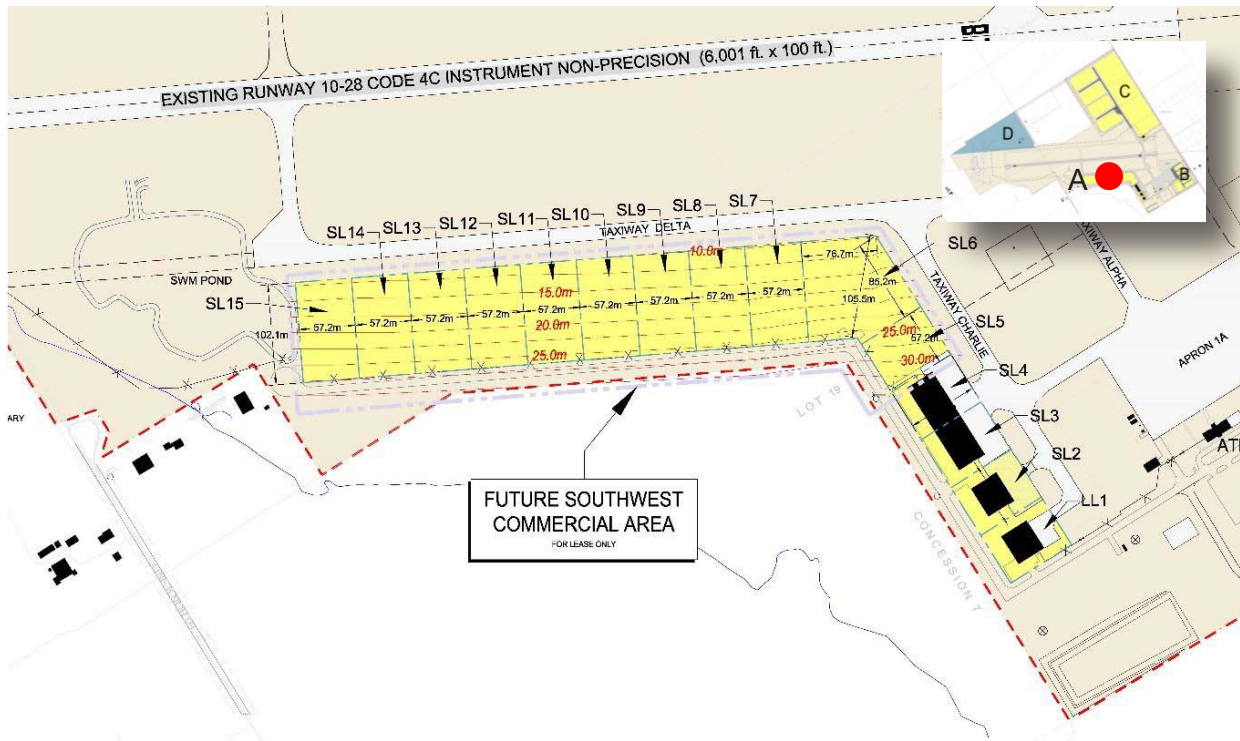
Un-serviced area suitable for non-aviation related uses including agriculture.



Recommended Land Use

Commercial Area	Land Tenure	Suitable Use	Height Limitations
Southwest (A)	Lease	Corporate Aviation Operations Executive Air Charter Rotary Wing Operations Flight Training Aircraft/Avionics Maintenance Aircraft Sales Aircraft grooming Shared aircraft hangars Aerial Survey, Sightseeing FBO Operations	10m to 25m
Southeast (B)	Lease	Light Corporate Aviation Hangars Private/Prestige Aircraft Hangars T Hangars Aircraft tie-down	8m to 45m
Northeast (C)	Lease	Large aircraft maintenance repair (MRO) facilities Aircraft painting/refurbishing Airline maintenance Manufacturing Light industrial Warehousing Air cargo/courier facilities	10m to 45m
Northwest (D)	Lease	Non-aviation uses Recreational Uses Agriculture Solar farm	7.5m to 41m

Southwest Commercial Area

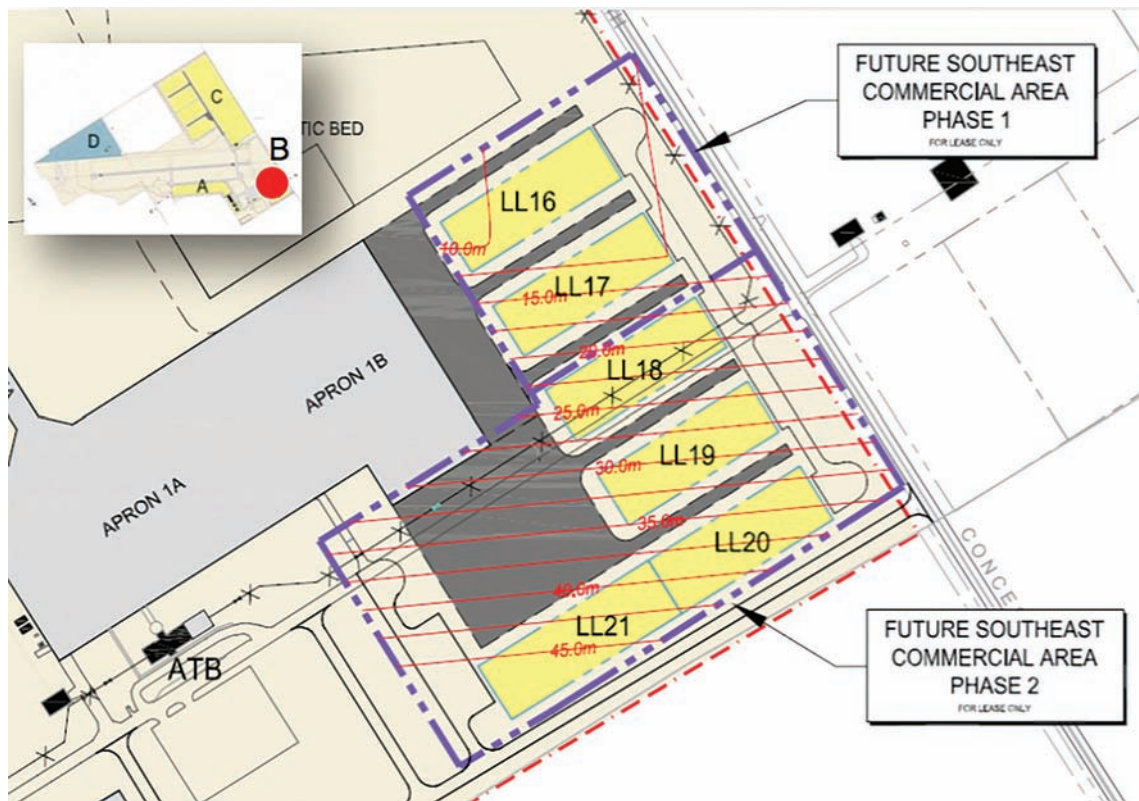


Development Information

The Southwest Commercial Area is comprised of fully serviced lots with direct airside access to the primary Code C taxiway which parallels the 6,001ft x 100 ft (1,829m x 30m) Runway 10-28.

Land Tenure Policy:	Lease Only
Total Development Area:	6.61 ha (16.3 acres)
Typical Lot Size:	57.2 m x 102 m
Typical Lot Area:	.58 ha (1.43 acres)
Height Limitations:	10m (north side Lots SL6 – SL15), 22.5 m (Lot SL5)
Airside Access:	Code C (50 ft/15m) Taxiway (Taxiway Delta)
Landside Access:	Airport Road
Services Available:	Full Services

Southeast Commercial Area



Development Information

The Southeast Commercial Area is comprised of un-serviced lots served by Code B and Code A taxiways with direct airside access to the main apron.

Land Tenure Policy:	Lease Only
Total Development Area:	2.83 ha (7 acres)
Typical Lot Size:	35.24 m x 105.8 m
Typical Lot Area:	0.37 ha (0.9 acres)
Height Limitations:	8m (west portion Lot LL16) to 38 (Lot LL21)
Airside Access:	Code B (35 ft/10.5m) taxiway. Code A (25 ft/7.5m) taxiways serving individual lots.
Landside Access:	Access from Airport Road or directly from Line 7 N.
Services Available:	Power, Natural Gas

Northeast Commercial Area

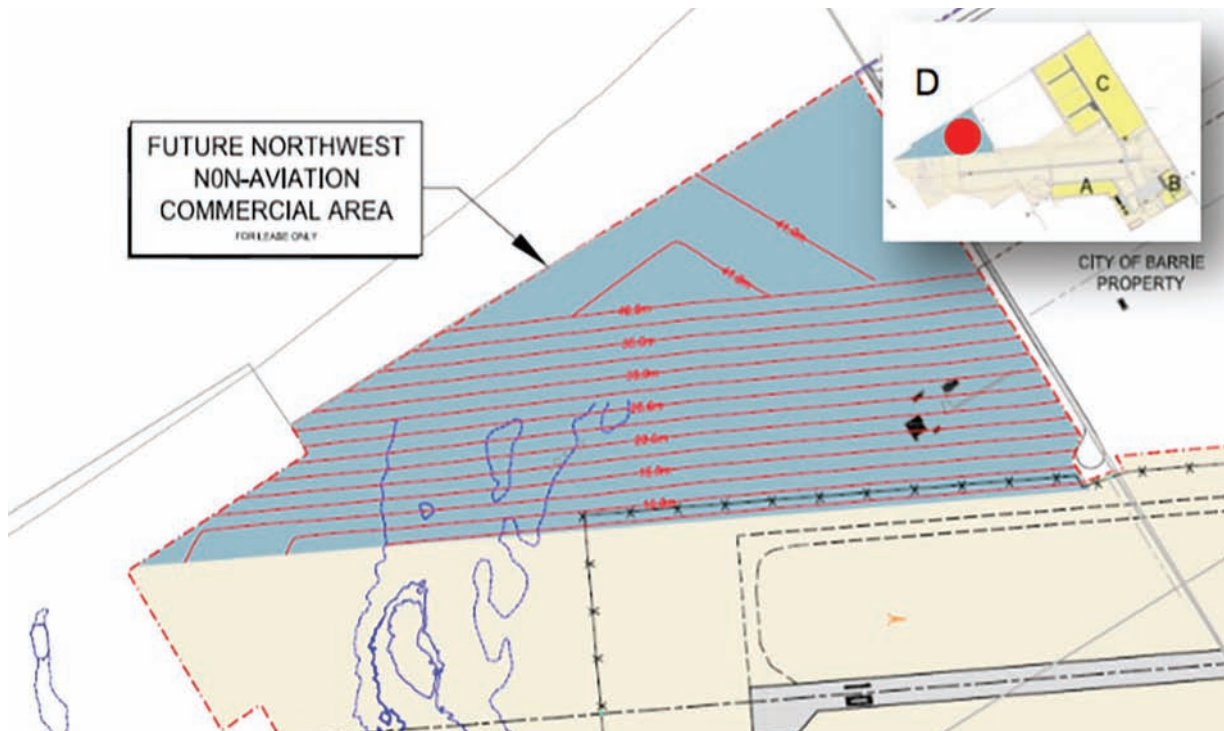


Development Information

The Northeast Commercial Area is comprised of un-serviced lots with direct airside access to a Code C taxiway. Large lot development has direct access to 7 Line municipal road and services.

Land Tenure Policy:	Lease Only
Total Development Area:	48.13 ha (118.9 acres)
Typical Lot Size:	East of Taxiway Bravo 170 m x 294 m West of Taxiway Bravo 96.7 m x 160 m
Typical Lot Area:	East of Taxiway Bravo - +/- 5 ha (12.4 acres) West of Taxiway Bravo – 1.6 ha (3.95 acres)
Height Limitations:	10m (southern portion Lot SLL23) to 45m
Airside Access:	Code C (50 ft/15m) taxiway (Taxiway Bravo). Future development requires expansion of Taxiway Bravo.
Landside Access:	Direct access to Line 7 N. Access to lots west of Taxiway Bravo requires new road extension.
Services Available:	Power, Natural Gas (Lots adjacent to Line 7 N.)

Northwest Non-Aviation Commercial Area



Development Information

The Northwest Commercial Area is un-serviced with no access to airside. Suitable for non-aviation uses

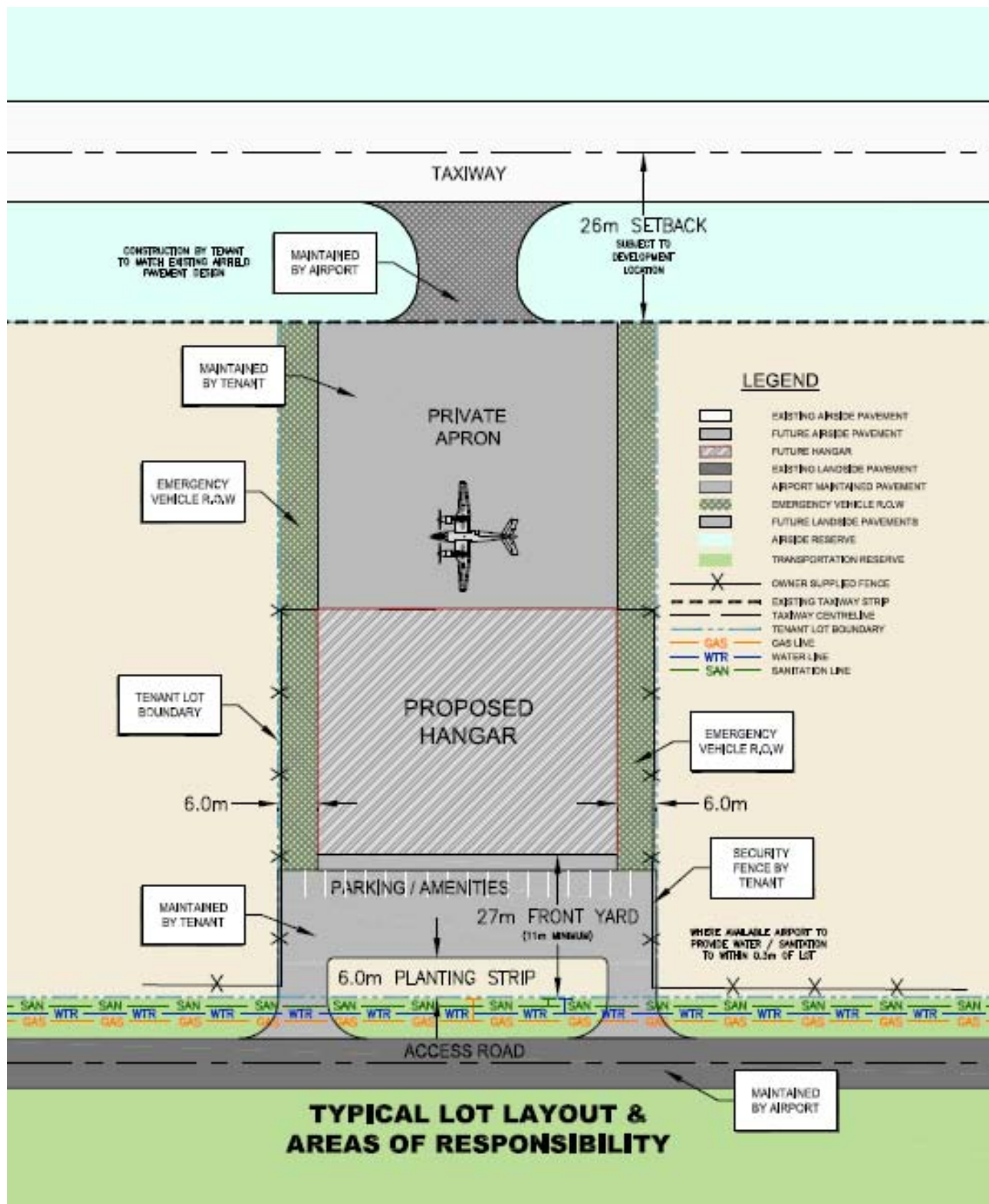
Land Tenure Policy:	Lease Only
Total Development Area:	24.42 ha (60.3 acres)
Typical Lot Size:	NA
Typical Lot Area:	NA
Height Limitations:	7.5m (southern portion of area) to 41m (northern portion of area)
Airside Access:	No
Landside Access:	Line 6 N.
Services Available:	Power

Note: Portions of area include wetlands.

Commercial Development Fees

Description	Fee
Lease Term	Negotiable. Minimum 20 year lease comprised of an initial term of 5 years followed by 3 consecutive renewal terms of five years.
Lease Administration Fee	Fee payable at the time of the Preliminary Development Submission or at any time when changes to existing leases are required (i.e. assignment of lease, new terms, or renewal).
Development Service Fee (one time fee)	\$0.45/ft ² (Building area) The Airport will draw upon this fee as required to review the development application. The unused portion of the fee will be returned to the tenant.
Airport Development Levy (one time fee)	\$5.16/ft ² (Building area) Excludes space used for storage of aircraft
Airport Development Permit Fee (one time fee)	\$1.00/ft ² (Building area) The Airport will draw upon this fee as required to review the development permit submission and provide periodic site review as required. The unused portion of the fee will be returned to the tenant.
Land Lease – Serviced Lots (annual fee)	\$0.31/ft ² (Lot area)
Land Lease – Unserviced Lots (annual fee)	\$0.138/ft ² (Lot area)
Airport Maintenance Charge (AMC) (annual fee)	\$0.10/ft ² (Lot area)
Water/Sewer Connection Fee (one time fee)	\$20,000
Fire Service Connection Fee (one time fee)	\$2,500
Water Charges (annual fee)	\$600/year (up to 150 m ³) \$0.75/m ³ (150 m ³ – 275 m ³) \$1.00/m ³ (+ 275 m ³)
Sewer Charges (annual fee)	Same as Water Charge
Development Security Fee (one time fee)	Performance Bond or Line of Credit. To be determined based on scale of project prior to commencement of construction.

Site Planning Guidelines





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